

One of downtown Denver's most desirable business addresses, Wells Fargo Center is a 52-story Class A office tower commanding an iconic presence on the Denver skyline. Tenants delight in spectacular views of the Mile High City and the Rocky Mountain Front Range, and the building's vibrant location provides easy access to all Denver has to offer. Parks and civic centers providing rich cultural experiences are just a stroll away.





SIGNATURE BUILDING

Wells Fargo Center's signature red granite topped by a double-curved roof is commonly referred to as the "Cash Register Building". Large square windows frame spectacular views of the Mile High City and the Rocky Mountain Front Range.

The building's established Uptown location offers easy access to major freeways and a variety of public transportation alternatives, making commuting easy and convenient. Large floor plates offer flexible layouts for all tenants, while on-site amenities maximize workplace convenience.

SWEEPING VIEWS

of the Mile High City and the Rocky Mountain Front Range

DIRECT INGRESS AND EGRESS

to Interstate 25 and Interstate 70

CLOSE PROXIMITY

to Civic Center Plaza and the RTD light rail transit system, shopping, dining, hotels and entertainment

ON-SITE 12 LEVEL PARKING GARAGE

with secure access to the building via an underground tunnel

SUPERIOR AMENITIES

Wells Fargo Center offers a variety of on-site amenities:

- The 1700 Club features a fitness center, group fitness room, sauna, tenant lounge and kitchen area, WiFi and advanced A/V, quiet rooms, and collaboration areas
- > 24-hour on-site exercise facility with state-of-the-art cardio and strength training equipment
- > Conference and training rooms
- Tuscany Café offers handcrafted expresso beverages, and quick breakfast and lunch menus for tenants on-the-go
- Controlled-access Parking Garage with direct connection to building

- Denver's popular Masterpiece
 Delicatessen offers online
 ordering for tenant convenience
- Postal services, FedEx and a shoeshine
- Fully-Equipped Bike Storage Room
- > Zagster tenant-only bike share
- > LEED® Platinum EBOM
- Certified Gold WiredScore
- ExteNet Distributed
 Antenna System





VIBRANT NEIGHBORHOOD

Tenants benefit from Wells Fargo Center's Uptown location with access to major freeways and transportation alternatives, including the RTD light rail system, Free Metro Ride, and regional bus routes. In addition, there are more than 50 restaurants within walking distance from Wells Fargo Center. Sports and concert venues including The Pepsi Center and Coors Field, and Mile High Stadium are within a few minutes drive.

- Close proximity to 16th Street Mall and "Restaurant Row" on 17th Avenue
- Three blocks to government and financial centers, include the State Capitol Building
- 25 miles to Denver International Airport
- Steps to hotels, conference centers, dining, and retail shops





97 BIKE SCORE



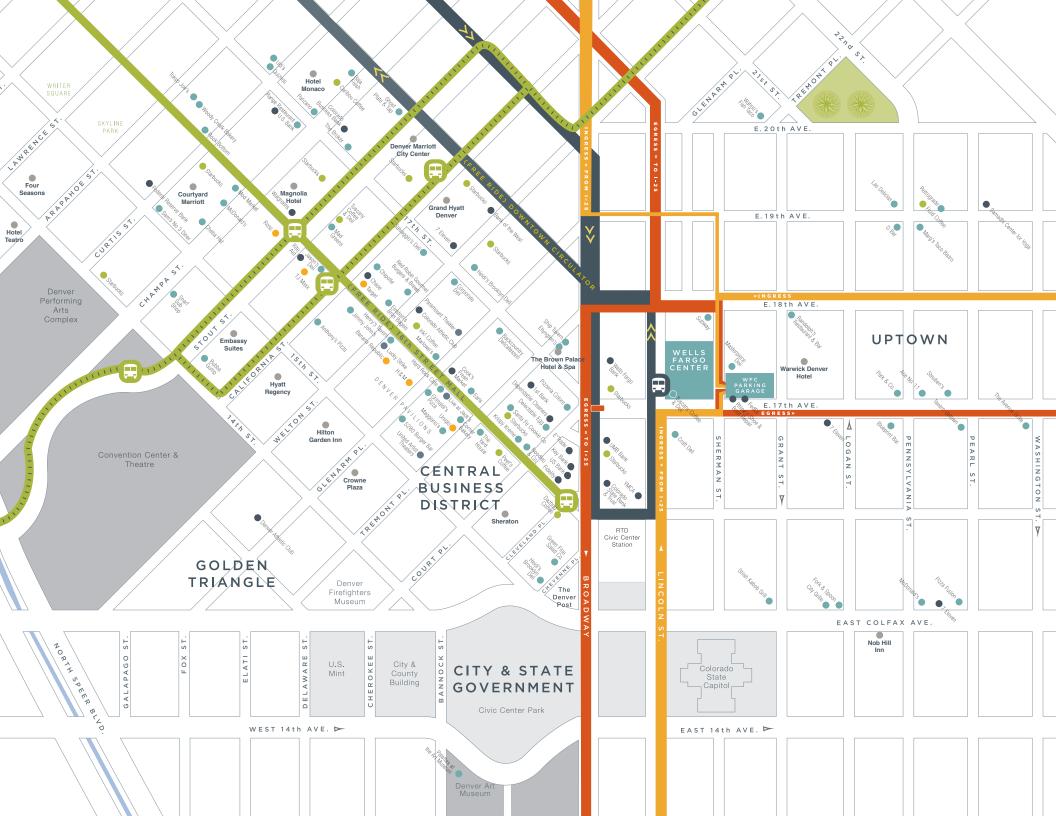
9 TRANSIT SCORE





MAP KEY

- DINING
- P PARKING
- COFFEE
- LIGHT RAIL
- SERVICES
- 😑 BUS STOP
- RETAIL
- -- BIKE LANE
- HOTELS
- INGRESS EGRESS
- CULTURAL & ENTERTAINMENT



ART + LIGHT

A new media installation by ESI Design and new works by Enoc Perez are on permanent display at Wells Fargo Center.

Artist Enoc Perez has created an original collection of paintings and sculptures in the building's main lobby. The series interprets the building architecture in many shapes and forms.

ESI Design has created a dramatic 90' high digital art experience in the building's atrium space. Beautiful digital imagery flows through the five display slices with fluid motion—a striking and mesmerizing experience.

Take a moment and check out these art installations only at Wells Fargo Center in Denver.

- Original collection of 14 paintings and 5 sculptures by artist Enoc Perez
- Dramatic 90' digital art experience by ESI Design





OFFICE PLAN

OFFICES: 43

CONFERENCE ROOMS: 4

TOTAL HEAD COUNT: 50 SF PER EMPLOYEE: 478



OPEN PLAN

WORK STATIONS: 176

TOTAL HEAD COUNT: 177

SF PER EMPLOYEE: 135

CONFERENCE ROOMS: 8 SF PER EMPLOYEE: '



BUILDING FACTS



VIEWS

Generous finished ceiling heights of 9
feet with floor-to-floor heights of 13 feet,
and wide windows offer unobstructed
panoramic views of downtown Denver
and the Rocky Mountain Front Range.



HVAC

- Central chilled water plant that provides chilled water to two multi-zone air handlers on each floor
- Air handlers are constant air volume with electric reheat on the perimeter. Each air handler has seven zones, five exterior and two interior, and a capped-off zone for future needs
- Four 900 ton Marley cooling towers are located on the roof of parking garage



ELEVATORS

- Brand new state of the art elevator technology brings Compass Destination Dispatch to existing 34 high-speed OTIS elevators
- Benefits include reduced travel time and 40% energy savings
- Two freight elevators



POWER SOURCES

 Redundant power sources and energy management systems ensure maximum efficiency and productivity



CONTROLLED ACCESS

 After-hours proximity card readers and 24/7 manned security offers tenants the utmost peace of mind and safety



CONNECTIVITY

- Fiber and cable providers include AT&T, Cogent, Comcast, Direct TV, Level 3, Time Warner, CenturyLink, XO Communications, and Yipes Communications
- ExteNet Distributed Antenna System for enhanced wireless connectivity



PARKING

 The building's parking garage offers 12 levels of parking with direct building access through controlledaccess underground tunnel.









SUSTAINABILITY

Wells Fargo Center is ENERGY STAR® rated and has achieved LEED Platinum® certification. Building upgrades and retrofits improve energy efficiency, conserve resources, and reduce operating expenses. Recycling and composting programs reduce building waste at all levels.

- Progressive green cleaning program provides a safe and sustainable work environment
- On-site recycling programs divert more than 50% of building waste
- Facilities for bike commuters include showers, locker rooms, and towel service







WELLS FARGO CENTER

1700 LINCOLN ST, DENVER, CO

FOR LEASING INFORMATION, PLEASE CONTACT:

Kevin Foley 303.542.1550

kevin.p.foley@am.jll.com

Andy Willson

303.217.7980

andy.willson@am.jll.com



Brookfield Properties

Jones Lang LaSalle Brokerage, Inc.

All materials herein are subject to change.

©2020 Jones Lang LaSalle, IP, Inc. All rights reserved. All information contained herein is from sources deemed reliable; however, no representation or warranty is made to the accuracy thereof.